

BLYTHE CITY COUNCIL

Special Meeting



AGENDA

NOVEMBER 16, 2016

1:30 P.M.

Joseph "Joey" DeConinck, Mayor
Timothy "Tim" Wade, Vice Mayor
Oscar Galvan, Councilman
Dale S. Reynolds, Councilman
Eric Egan, Councilman
Peter Cosentini, City Manager
Baron Bettenhausen, City Attorney

MEETINGS ARE HELD IN THE CITY COUNCIL CHAMBER, 235 NORTH BROADWAY, BLYTHE, CA



**Special Meeting of
The Blythe City Council
November 16, 2016
1:30pm**

CALL TO ORDER

ROLL CALL

Mayor DeConinck
Vice Mayor Wade
Councilman Galvan
Councilman Reynolds
Councilman Egan

City Manager Cosentini
City Clerk/Deputy Admin Services Director Crecelius
City Treasurer/Interim Finance Director Elms
City Attorney Bettenhausen
Public Works Director Baldizzone

Police Chief Wade
Planner Burrow

PLEDGE OF ALLEGIANCE

INVOCATION

CONSENT CALENDAR- (Items 1- 3) All matters listed under Consent Calendar are considered routine and will be enacted by one motion. There will be no separate discussion of these items prior to the time of voting on the motion unless members of the Council or staff request specific items be discussed and/or removed from the Consent Calendar for separate action.

1. Posting of the Agenda.

The summary of agenda items were posted on the bulletin boards on the outside of the public entrance to the Council Chamber and near the inside entrance of the Council Chamber on Monday, November 14, 2016.

2. Request for Extension of Tentative Tract Map 34499.

Recommendation: Grant St. Joseph's Investments, Inc. a three year extension to the life of Tentative Tract Map 34499 subject to the original project conditions of approval.

3. Purchase of Personal Protective Gear for Fire Department Personnel.

Recommendation: Authorize the purchase of personal protective gear from W.S. Darley & Co. in an amount not to exceed \$30,821.60.

PUBLIC HEARING: None

CONTINUED BUSINESS: None

NEW BUSINESS: (Items 4-5)

4. CNG Station Discussion.

Recommendation: Authorize staff to work with PVVTA to draft an initial plan requested by MDAQMD for transfer and use of grant funds originally procured by HayDay Farms.

5. Hiring Two Temporary Employees.

Recommendation: Approve the hiring of two temporary employees for the installation of the new water meter system and authorize budget transfers as described in Attachment #1.

WRITTEN COMMUNICATION: None

SUCCESSOR AGENCY: None

Any writings or documents provided to a majority of the City Council regarding any item on this Agenda will be made available for Public inspection in the City Clerk's Office at City Hall, 235 N. Broadway, Blythe, California, and the information counter of the Palo Verde Valley District Library located at 125 W. Chanslonway, Blythe, California, during normal business hours. In addition such writings and documents will be posted on the City's website: www.cityofblythe.ca.gov.

ORAL REPORTS (Council may ask a question for clarification, make a brief announcement, make a brief report on his/her own activities, request staff to report back at a subsequent meeting concerning any matter, or take action to direct staff to place a matter of business on a future agenda.)

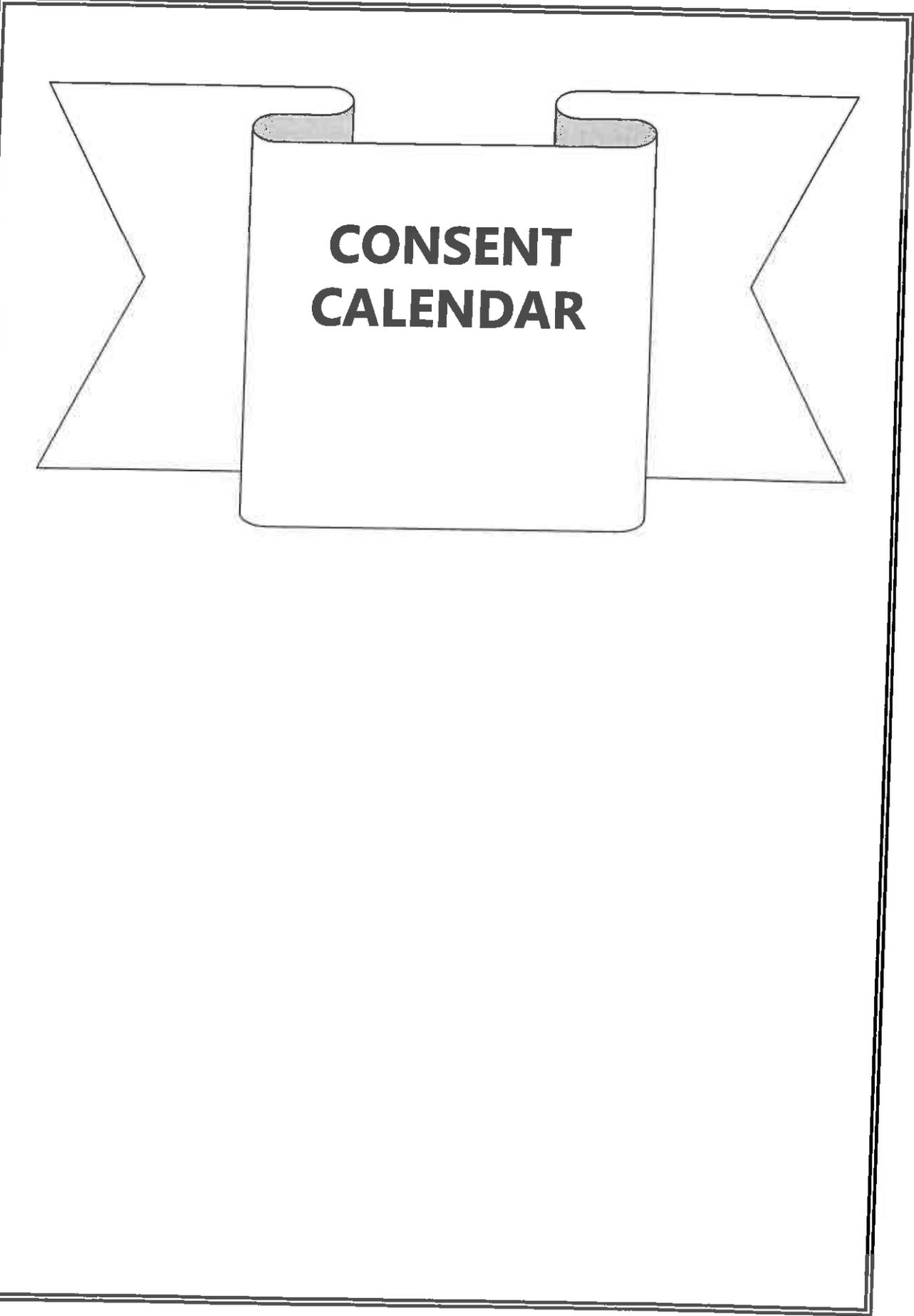
PUBLIC COMMENT Public comments will be allowed on matters not appearing on the agenda, but within Council/Blythe Successor Agency jurisdiction. Speakers are asked to identify themselves by stating their name and address for the record. Comments shall be limited to 3 minutes in duration.

ADJOURNMENT The next meeting will be held on December 13, 2016, at 6:00 p.m. in the Council Chamber, 235 N. Broadway, Blythe, California.

NOTE TO THE PUBLIC:

In compliance with the Americans with Disability Act, if you need special assistance to participate in this meeting, please contact ADA Coordinator Mallory Sutterfield at (760) 922-6161 EXT. 237 or by email at msutterfield@cityofblythe.ca.gov. Notification 24 hours prior to the meeting will enable the City to make reasonable arrangements to ensure accessibility to the meeting (28 CFR 35.104 ADA Title II).

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**CONSENT
CALENDAR**



CITY OF BLYTHE
CITY COUNCIL MEETING

STAFF REPORT

MEETING DATE: November 16, 2016

SUBJECT: Request for Extension of Tentative Tract Map 34499

PRESENTED BY: Barbara Burrow, Planner

PREPARED BY: Barbara Burrow, Planner

RECOMMENDATION: It is recommended that the City Council grant St. Joseph's Investments, Inc. a three year extension to the life of Tentative Tract Map 34499 subject to the original project conditions of approval.

FISCAL IMPACT: No direct fiscal impact will occur from this action.

BACKGROUND: On October 10, 2006, the City Council approved Tentative Tract Map 34499, subdividing an 18.97± acre parcel and subsequent development of said parcel into a 69 lot single family residential development. The project site is located on the east side of North Broadway, approximately one-half mile south of Tenth Avenue. (APN: 839-130-002). (See Exhibits "A", "B" and "C")

Pursuant to Section 66452.6(a)(1) of the Subdivision Map Act, a 12 month extension to the life of the approved map was granted. Said extension was granted administratively by the Planning Department and extended the life of the map through October 10, 2009.

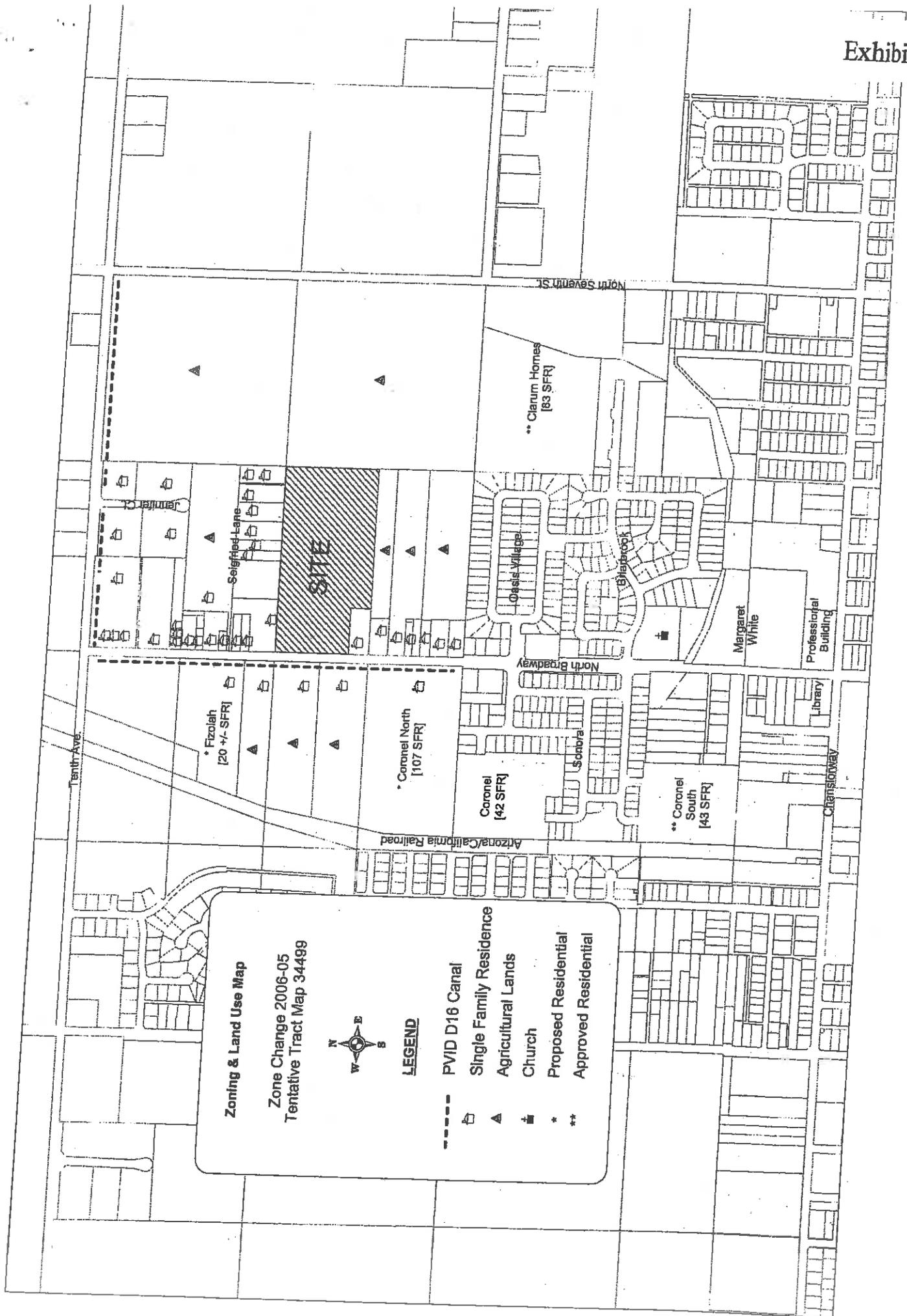
Subsequently, there have been two additional extensions to the map by virtue of AB 208 and AB 116 under specific legislation. In total, the additional legislation allowed the life of the Tentative Map to remain through October 10, 2016.

STAFF REPORT: On October 5, 2016 staff received a request for Extension of Tentative Tract Map 34499 from St. Joseph's Investments, Inc. Pursuant to Amended Section 66452.6(e) of the Subdivision Map Act, upon application of the subdivider filed prior to the expiration of the approved or conditionally approved tentative map, the time at which the map expires may be extended by the legislative body for a period or periods of time not exceeding a total of six years.

The developer has previously been granted a three year extension and according to the Map Act referenced, may request another three years in order to keep the map viable. Barring any further State Legislation, this map will not be considered for further extension.

EXHIBITS:

- A. Project Area Map
- B. Tentative Tract Map 34499
- C. Conditions of Approval



Zoning & Land Use Map
 Zone Change 2006-05
 Tentative Tract Map 34499

LEGEND

- PVID D16 Canal
- 🏠 Single Family Residence
- ▲ Agricultural Lands
- ⛪ Church
- * Proposed Residential
- ** Approved Residential

City of Blythe
 Planning Department
 Conditions of Approval

Zone Change 2006-05
 Tentative Tract Map 34499

PLANNING DEPARTMENT
 APPROVED
 DATE 10/10/06
 BY JAW

1. The permittee shall defend, indemnify, and hold harmless the City of Blythe, its' agents, officers and employees from any and all claim(s), cost(s) or expenses(s), including legal fees and costs, action(s) or proceeding(s) against the City of Blythe or its agents, officers or employees to attach, set aside, void or annul an approval of the City of Blythe concerning the proposed change of zone, tentative tract map and the associated environmental document regardless of whether or not litigation is commenced or arbitration requested.
2. The developer/applicant shall submit to the City Development Services Department all covenants, proposed land owner association by laws and agreements for approval. Said covenants shall contain such provisions as required by these conditions.
3. The development of the property shall be in accordance with the mandatory requirements of all Blythe Ordinances and California State Laws and shall conform substantially with the conditionally approved Tentative Map.
4. The developer/applicant shall enter into a "Subdivision Improvement Agreement" with the City and shall provide such bonding and assurances as may be required to insure the completion of facilities which will be dedicated to the City. Bond amounts will be based on the following:
 - For Faithful Performance (100%)
 - For Securing Payment (50%);
 - For Monumentation (125%)
 - For Contingencies (10% Improvements & Monumentation)
5. The use being reviewed/approved is a residential development consisting of 69 single family residential lots each containing a minimum of 7,200 s.f..
6. Mitigation measures identified in the environmental document shall be incorporated into and become a part of these conditions of approval.
7. For all private improvements, a completed building permit application (with valuation of work) and three (3) complete sets of construction plans shall be submitted to the City Building Department. Plans shall include Title 24 energy calculations and engineering. Plans and specifications must be prepared by a design professional and must comply with seismic zone 3, exposure C, and wind speed of 70 mph. Residential plan check(s) will be completed by an outside plan check firm.
8. For all public improvements, a completed building permit application (with valuation of work) and four (4) complete sets of construction/installations plans shall be submitted to the City Building Department.
9. A Temporary Use Permit must be obtained to allow the installation of a construction trailer on the site.

10. All contractors and/or sub-contractors for the project must obtain a City Business License before commencing work within the City limits.
11. All contractors and/or sub-contractors for the project must hold a current and active California State Contractors License and provide verification of workers compensation. Said information shall be provided to the City Building Department prior to start of trade.
12. School Facility Fees, per Government Code 53080 and California Education Code 17620 and 65995, shall be paid prior to issuance of building permits.
13. A Final Map shall be prepared according to all of the latest requirements of the Subdivision Map Act and City of Blythe Ordinances and standards. The map shall be prepared by a California Registered Land Surveyor or Civil Engineer licensed to practice prior to January 1, 1982. A Final Map filing fee shall be remitted to the Planning Department upon submittal of the Final Map for City Council approval.
14. Within six (6) months of this approval, the applicant shall provide the City with tax clearance documentation from the Office of the Riverside County Tax Collector indicating that all due and payable and/or delinquent taxes or special assessments have been paid for the property to be divided. If this condition is not adhered to within said six (6) month period, the City Council may hold public hearing(s) to consider revocation of the map.
15. The applicant/developer shall remit to the City of Blythe development impact fees as authorized by City Ordinances and Resolutions. Said fees may be deferred until final inspection and shall be paid in full prior to issuance of certificates of occupancy for any residential unit.
16. Pursuant to Blythe Municipal Code Section 17.27.020(b), new single- and multi-family developments of 5 units or more shall include public arts amenities.

Payment may be made to the City of a fee in-lieu of the inclusion of public arts amenities. Said Fee shall be one half of one percent (½%) of project costs as stated on building permit. Project costs shall not include improvements in/to the public right-of-way. For projects valued at less than \$1M, the developer/applicant is encouraged to pay the in-lieu fee.

The Blythe City Council will review and has discretionary approval over all art proposed for construction and/or installation in public places.
17. Mail box type and location(s) shall be coordinated with the United States Postal Service and approved by the City of Blythe.
18. The life of the (approved) Tentative Tract Map shall be as set forth in Section 66452.6 of the Subdivision Map Act.
19. Tract development signs may be installed as provided for in Chapter 17.26 of the Blythe Municipal Code.
20. Landscaping - front yard landscaping shall be installed prior to certificates of occupancy being issued. Said landscaping shall consist of an effective combination of trees, lawn and/or ground cover, shrubs and desert vegetation as approved by the Planning Director. All unplanted landscape areas shall be mulched with a minimum of two inches of material (crushed rock, organic mulch...) to promote weed control and water conservation.

A minimum of two deciduous or evergreen shade trees conforming to the measurements specified below shall be planted in the front yard of any lot on which a dwelling unit or units are to be built or placed.

- A. Minimum branching height for all shade trees shall be six feet.
- B. Minimum size for shade trees shall be 2.5 to three inches in diameter measured six inches above grade; and, 12 to 14 feet in height.

- 21. The applicant/developer shall install 5,800 lumen street lights on marbelite poles within the development. The location of the interior development lights will be determined by the City of Blythe and installed based on the location of Southern California Edison underground facilities and National Street Light Standards. Interior street light installation may be phased as appropriate.
- 22. The applicant/developer shall install 16,000 lumen street lights on marbelite poles along the Broadway frontage of the development site. The street lights shall be installed concurrent with Phase I of the development. The location of the lights will be determined by the City of Blythe and installed based on the location of Southern California Edison underground facilities and National Street Light Standards.
- 23. The applicant/developer shall request, in writing, that the street lights and [public] landscape areas be annexed into Lighting District No. 2. In requesting annexation into the lighting district, the applicant/developer agrees to the assessments that will be imposed on individual properties upon development. Lighting district assessments are in compliance with Proposition 218 guidelines.
- 24. All side and rear yards shall be enclosed with six (6) foot high solid (e.g. wood slat, slump block...) fencing. Fence permits shall be obtained and fencing shall be installed and inspected concurrent with the final inspection of each single family residence. Fence height shall be measured as set forth in BMC Section 17.14.060.
- 25. Prior to approval of the improvement plans, the developer/applicant shall have completed and approved, the necessary maps, landscaping and/or lighting improvement plans, legal descriptions, etc. Landscape and lighting improvements shall be completed and accepted concurrently with the other improvements in the subdivision. Phasing of the improvements shall be as appropriate to the phasing of the development unless specifically stated in these conditions of approval.
- 26. The developer/applicant shall provide all trenches, conduit, backfill, etc. as required by Verizon. Rule 15 monies must be received by Verizon before any work may commence. Relocation of any telephone facilities will require coordination before construction.
- 27. All existing and proposed utilities shall be undergrounded. Confirmation shall be provided to the City from the involved company(ies) that all the required deposit(s) to underground the facility(ies) have been paid prior to the issuance of a grading permit.
- 28. All under grounding of utilities shall be completed prior to the issuance of a certificate of occupancy.
- 29. Street names shall be proposed and approved by the City Council concurrent with approval of the Tentative Map.
- 30. The developer/applicant shall cause all regulatory street name signs to be installed prior to occupancy of any home located where its occupants will utilize a street that does not have them.

31. Prior to issuance of a certificate of occupancy, all subdivision monumentation shall have been installed.
32. No building permits shall be issued for the proposed lots until after recordation of the final map.
33. The developer/applicant shall address in and enforce through CC&R's (no) on street and front yard recreational vehicles parking.
34. A minimum 8' wide landscape parcel shall be provided along the entire North Broadway frontage [concurrent with Phase I of the development]. Said landscaping shall consist of an effective combination of trees, lawn and/or ground cover, shrubs and desert vegetation as approved by the Planning Director. All unplanted landscape areas shall be mulched with a minimum of two inches of ¾" crushed rock to promote weed control and water conservation. The landscape area shall be equipped with a full coverage automatic controlled irrigation system and a landscape water meter shall be installed.
35. A decorative slump block or stucco wall, minimum six (6') in height shall be constructed along the entire east side of the landscape parcel concurrent with Phase I of the development. Appropriate architectural features (capping element, changes in texture, plain and color) shall be incorporated into the design of the wall. Wall height shall be measured as set forth in BMC Section 17.14.060.
36. The retention/detention basin shall be landscaped using a combination of trees, shrubs, and grass. The retention basin shall be equipped with a full coverage automatic controlled irrigation system and a landscape water meter shall be installed. Said retention basin improvements shall be installed concurrent with Phase I of the development.
37. The developer/applicant shall install a (school) bus turnout on the east side of Broadway, north of the project entrance road. The turnout shall be improved with a twelve (12) foot wide concrete apron, the length and location of which will be suited to accommodate existing and future utility improvements. A shade cover and bench shall be installed at the bus "turnout". Said cover and bench shall be installed concurrent with public improvement made during Phase I of the development. The proposed style and color of the improvements shall be approved by the Development Services Department [prior to the structure being ordered by the developer/applicant].
38. All construction on the site shall comply with the Code Editions in effect at the time of building permit application submittal. Current Codes in effect are: 2001 California Building, Plumbing, Mechanical and Fire Codes, 2004 California Electrical Code and the 2005 California Energy Code.
39. Provide a detailed geotechnical report outlining the necessary measures required for the project site, including but not limited to: dwelling pad compaction, soil percolation, roadway section, groundwater depth and soil profile.
40. The applicant shall comply with Chapter 18 and Appendix 33 of the 2001 California Building Code and provide a preliminary soils report prepared by an engineer licensed by the State of California. The soils report shall include recommendations regarding construction of pads and compaction. The recommendations of the soils engineer shall be included in the grading and site plans.
41. Pad certification for each lot shall be submitted to the Building Department and shall include soil compaction, elevations, drainage and property corners. (Plans shall be prepared by a California Registered Civil Engineer).

42. A final site grading, drainage and soil report shall be provided to the City by the "Responsible Engineer" prior to issuance of building permits.
43. Pretreatment for termites shall be required within 24 hours prior to placement of any footings or slab. Soil treatment shall be done by professional applicators of termiticide at concentrations consistent with label. Upon completion of treatment the applicator shall "tag" the site in a readily visible location identifying the date and method of treatment. A Certificate of Treatment from the applicator shall be required prior to final inspection.
44. The minimum fire flow for one and two family dwellings with less than 3,600 square feet shall be 1,000 gallons per minute. Plans for the location, number and type of fire hydrants, connected to a water supply capable of delivering the required fire flow, shall be submitted to the Fire Marshal and City Engineer for approval. Hydrants shall be provided on public streets or on the site of the premises or both to provide the protection required in Appendix III-B of the 2001 California Fire Code. Fire hydrants shall be accessible to the fire department apparatus by roads meeting the requirements of Section 902.2 of the 2001 California Fire Code. Per Section 902.2.2.4, 2001 California Fire Code, dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with approved provisions for the turning around of fire apparatus. Minimum radius of cul-de-sacs shall be per Cal Tran's template for 12.8 meters (42 feet).
45. Building or foundation permits will not be issued until:
 - A. The final map has been recorded;
 - B. All property corners are identified with approved (temporary) markers;
 - C. Individual lots are identified with approved (temporary) markers using either the lot number or street address;
 - D. Street base is in place and compacted for access by the emergency response personnel, safety officials and building inspectors; and,
 - E. The lots are graded in accordance with the approved grading plan. Prior to receipt of the Final Grading, Drainage and Soils Report, a letter from the "Supervising Civil Engineer" is required validating that the grading has been done in accordance with the approved grading plan and that the work recommended in the preliminary Soils Report has been done.
46. Prior to the delivery of combustible materials, the following items shall be accepted as complete:
 - A. The water system is functional from the source of water past the lots on which permits are being requested (i.e. all services and the sampling station [if required] are installed, valves are functional and accessible, bacteria testing is completed); and,
 - B. Fire hydrants of a permanent or temporary nature are accepted by the Fire Marshal and the Department of Public Works.
47. The developer/applicant shall implement a plan of dust control during construction. During the time between construction of the infrastructure and build-out of the houses, the developer/applicant shall maintain dust and erosion control on the project site. Watering of the site or other soil stabilization methods shall be employed on an ongoing basis after the initiation of any grading activity on the site. Portions of the site that are actively being graded shall be watered three times each day.
48. Finished pad elevation shall be a minimum of 8" above top of curb.
49. Curb, gutter and paveout permits will be required at such time that building permits are issued.

50. All construction designed or performed in the public right-of-way shall conform to the City of Blythe Standard Drawings and Specifications and shall meet all ADA requirements (e.g. sidewalks and driveway aprons).
51. If construction work in the right-of-way exceeds \$3,500 in valuation, the contractor for the developer shall post a performance bond equal to the cost of the work prior to issuance of an encroachment permit to work in the right-of-way.
52. All plans and specifications for work in the right-of-way shall be prepared by an engineer or architect licensed in the State of California to perform such work.
53. Before commencing work in the right-of-way, a representative of the developer shall attend a pre-construction meeting with the Department of Public Works to discuss issues pertaining to traffic control and public safety.
54. The developer/applicant or their public improvement contractor(s) shall provide written notification to emergency service agencies (i.e. police, fire, ambulance...) when work in the right-of-way will impede traffic flow or require street closure.
55. All plans prepared for submission to the Department of Public Works shall be on 24-inch by 36-inch sheets, as per the Standard Specifications.
56. The applicant shall have prepared a hydrology report addressing a 10- and 100-year storm event as per the City of Blythe Standard Drawings and Specifications and ensure that the basin(s) are properly sized to handle the additional flows. The basin shall be dry 72-hours after a 10-year storm event to provide adequate vector control. The report shall contain the minimum pad elevation to ensure there shall be no flooding of the proposed structures during a 100-year storm event. There shall be hydrocarbon filters installed in all drain inlet structures. The applicant shall install erosion control devices in the proposed storm water basin per City of Blythe Standard Drawing SD-500. There shall be a 5-foot separation between the invert elevation of the basin and the groundwater table.
57. The developer shall provide \$1,500 per dwelling unit towards the construction of additional water capacity at the new water production facility. This is to assist the City in construction of a new well at the facility. This fee shall be paid before a Certificate of Occupancy is issued for each dwelling unit. (Note: Dependent upon the progress of implementation of the updated Development Impact Fees when the permit application is submitted, said \$1,500 fee may or may not apply).
58. All water distribution lines shall be a minimum of 8-inches in diameter and shall be constructed according to the City of Blythe Standard Drawings and Specifications. There shall be no dead-ends in the proposed water system. A qualified engineer shall complete a hydraulic analysis of the proposed water distribution system to ensure there is adequate fire flow within the development.
59. The applicant shall extend the 12-inch water line in Broadway to the northern boundary of the project. There are two other subdivisions proposed for this area and if the proper sequencing is adhered to the option is available to the applicant to coordinate the installation of the water line with the adjacent projects.
60. All fire hydrants installed in the development shall be James Jones Model No. 3765 or 3700. The type and location shall be determined by the fire marshal.

61. The applicant shall install 6-inch curb and gutter with sidewalks along all public right-of-way in the development. Handicap ramps meeting current ADA standards shall be installed at all corners within the development.
62. The developer or contractor shall prepare a storm water pollution prevention plan (SWPPP) prior to construction for review and approval by the City to mitigate the storm-water run-off during construction. The plan shall adhere to the rules and regulations of the Regional Water Quality Control Board. All applicable permits shall be obtained from the related agencies governing such issues and be presented to the City prior to the issuance of any construction permits.
63. The applicant shall dedicate to the City 10-feet on the east boundary of the project to accommodate street widening and ultimate build-out of North Broadway as a major collector.
64. The applicant shall construct 6-inch curb with gutter and sidewalk along the project's frontage on Broadway and associated pavement adjustments. Due to traffic impacts the applicant shall cold plane and A.C. overlay both the north and south traffic lanes of Broadway along the project's frontage. A. C. roadway tapers shall be installed on Broadway according to the Standard Drawings and Specification to facilitate traffic flow at the ingress and egress points to the project. The applicant shall also provide a striping plan for the project designed to current regulations in effect with a left hand turning lane.
65. The developer shall provide a geo-technical report from a Civil Engineer registered in the State of California. The report shall delineate the proposed roadway section for all public street improvements.
66. All survey monuments installed in the public roadway shall be according to Standard Drawing S-219. All street intersections monuments shall adhere to Note No. 1 of said drawing.
67. A sewer study shall be completed to assess the impact on Sewer Lift Station No. 11 caused by the additional effluent inflow from the proposed 69 dwellings. This study is to ensure that the proposed project shall have no impact on the sewer lift station's capacity that has to be mitigated in the future. All mitigation measures recommended in the report shall be the responsibility of the applicant. All sewer lines within the proposed project shall be a minimum of 8-inches in diameter.
68. The applicant shall install a gravity sewer line in Broadway to provide sewer service to the project and shall have the line adequately sized to handle future sewer flows. All construction shall be according to the current edition of the City of Blythe Standard Drawings and Specifications.
69. Applicant/developer is advised that water users may be using the field ditch along the north and south side of the property to irrigate those parcels located to the north and south of this project.
70. The project engineer shall design, and the developer shall construct, at no cost to the Palo Verde Irrigation District (PVID) appropriate facilities to mitigate, to the extent possible, potential hazards due to the proximity of PVID Canals. Said mitigation measures, together with the developer's fencing of the adjacent canal(s), as appropriate, and placement of warning signs, shall become conditions of approval and shall be subject to the review and approval by the PVID engineer during the public improvement plan check process.
71. The permittee, his/her agents, contractors, and subcontractors agree to indemnify and hold harmless Palo Verde Irrigation District from and against any and all losses, damages, claims, liabilities, fines, and amounts paid in settlement of any threatened, pending, or completed action, suit, or proceeding, and related costs and expenses (including without limitation court costs and attorney's fees) arising out of or connected with any acts of contractor or any of its employees,

agents, or representatives, including without limitation any losses arising out of personal injury or property damage suffered by Palo Verde Irrigation District or any of its employees, agents, or representatives, as well as any claims or liabilities arising out of personal injury or property damage suffered by any third party for which injury or damage Palo Verde Irrigation District may be liable in regards to an overflow or break in the "D16" Canal adjacent to the subject property.

72. A deed notice shall be recorded for each of the parcels located within the subject project to ensure that prospective buyers are informed of Palo Verde Irrigation District's "D16" Canal's impact on the property. A sample deed notice follows:

Sample Deed Notice

This property is located within an area adjacent to the Palo Verde Irrigation District "D16" Canal and is subject to potential damage caused by an overflow and/or break in the Canal. The purchaser agrees to indemnify and hold harmless Palo Verde Irrigation District from and against any and all losses, damages, claims, liabilities, fines, and amounts paid in settlement resulting from an overflow and/or break in the Palo Verde Irrigation District "D16" Canal. Any subsequent deed conveying this parcel or subdivision thereof shall contain a statement in substantially this form.

73. Information regarding the "D16" Canal's influence on adjacent parcels shall be disclosed to prospective buyers prior to transfer of title. A sample disclosure statement follows:

Sample Real Estate Disclosure

This property is located within an area adjacent to the Palo Verde Irrigation District "D16" Canal and is subject to potential damage caused by an overflow and/or break in the Canal. You may wish to consider what liabilities, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.

74. A deed notice shall be recorded for each of the parcels located within the subject project to ensure that prospective buyers are informed of potential conflicts or impacts that may arise with regard to agricultural lands in production. A sample deed notice follows:

Sample Deed Notice

This property is located adjacent to or within close proximity of agricultural lands in production. Use of farm equipment, both ground and air; use of chemicals, including herbicides, pesticides and fertilizers; noise; and dust, are all components of agricultural production. You may wish to consider what liabilities, if any, are associated with the property before you complete your purchase and determine whether they are acceptable to you.

City of Blythe
Planning Department
Mitigation, Monitoring and Reporting Plan

Zone Change 2006-05
Tentative Tract Map 34499


BLYTHE DEPARTMENT
APPROVED
DATE 12/10/06
BY JW

Aesthetics

MITIGATION

- 1-1. Security lighting installed shall be low profile and shall be directed away from adjacent properties, as required by the City Zoning Ordinance.
- 1-2. Section 17.28.030 of the Blythe Zoning Ordinance will be enforced as follows:

17.28.030 Lighting of Private Property: Lighting, where provided to illuminate private property shall be so arranged as to reflect away from adjoining property or any public way and to be arranged so as not to cause a nuisance either to highway traffic or to the living environment.

The following guidelines regarding glare, shall be adhered to:

No direct or reflected glare, whether produced by flood light, high temperature processes such as combustion or welding, or other processes, so as to be visible from any boundary line of property on which the same is produced shall be permitted. Sky reflected glare from buildings or portions thereof shall be so controlled by such reasonable means as are practical to the end that the said sky reflected glare will not inconvenience or annoy persons or interfere with the use and enjoyment of property in and about the area where it occurs.

MONITORING: Monitoring to be provided by the City of Blythe Development Services Department.

REPORTING: None Required

Air Quality

MITIGATION:

- 3-1. Construction equipment shall be properly maintained and serviced to minimize exhaust emissions.
- 3-2. Existing power sources should be utilized where feasible via temporary power poles to avoid on-site power generation.
- 3-3. Cut and fill quantities will be balanced on site.
- 3-4. Any portion of the site to be graded shall be pre-watered to a depth of three feet prior to the onset of grading activities.
- 3-5. Watering of the site or other soil stabilization methods shall be employed on an ongoing basis after the initiation of any grading activity on the site. Portions of the site that are actively being graded shall be watered three times each day.
- 3-6. Any area of disturbed soil that will remain undeveloped for an extended period of time (90 days or more) shall be stabilized using either chemical stabilizers or a desert wildflower mix hydro-seeded on the affected portion of the site.

- 3-7. All grading activities shall be suspended during first and second stage ozone episodes or when winds exceed 25 miles per hour.
- 3-8. Additional mitigation measures include adequate circulation of vehicles to lessen concentrations of carbon monoxide in the area, promotion of car pooling and public transportation in the area, and the encouragement of non-motorized transportation modes (i.e., bicycles and walking).
- 3-9. All unplanted public landscape areas shall be covered with a minimum of two-inches of crushed rock (minimum ¾") to promote water conservation, weed and dust control.
- 3-10. Construction traffic (i.e. equipment and employee) shall access the Proposed Project site from North Broadway via Tenth Avenue.

MONITORING: Monitoring to be provided by the Development Services Department and affected State agencies.

REPORTING: None Required

Biological Resources

MITIGATION:

- 4-1. A burrowing owl survey, in compliance with the survey protocol and mitigation guidelines provided by the California Burrowing Owl Consortium (1993), shall be conducted a maximum of 12 months prior to the start of site development.

MONITORING: Monitoring to be provided by the Development Services Department and affected State agencies.

REPORTING: Biologist

Cultural Resources

MITIGATION:

- 5-1. In the event presently unknown archaeological or historical resources are discovered during development, work shall be terminated until such time that a certified archaeologist can investigate the findings. In such a case, the investigating archaeologist shall determine appropriate future actions that must be taken prior to continuation of all affected project(s). All project-related structures and property involved in the development process shall comply with goals and policies pertaining to cultural resources, as outlined in the Cultural Resources Element of the Blythe General Plan and the Riverside County General Plan.

MONITORING: Applicant

REPORTING: Applicant

Geology and Soils

MITIGATION:

- 6-1. All recommendations and mitigation measures contained in the LandMark Geotechnical Report prepared for the Proposed Project shall be implemented during design and construction of the Proposed Project.

- 6-2. The Project proponent shall obtain a National Pollutant Discharge Elimination System (NPDES) permit and develop a Storm Water Pollution Prevention Plan (SWPPP) prior to construction of the Proposed Project. Implementation of the SWPPP will establish Best Management Practices (BMPs) that will reduce erosion impacts.

MONITORING: Monitoring will be provided by the City Building and Public Works Departments through the plan check and inspection process.

REPORTING: None Required

Hazards and Hazardous Materials

MITIGATION:

- 7-1. If soils are exported from the site, sampling of said soils shall be undertaken to determine if levels exceed established hazardous waste regulations of 1 ppm. If the results of the said sampling indicate that remediation is required, it shall be conducted in a manner consistent with local, State and federal requirements.

MONITORING: Monitoring will be provided by appropriate federal, State and/or local agencies.

REPORTING: Applicant

Hydrology and Water Quality

MITIGATION:

- 8-1. Prior to project construction, the applicant shall obtain a National Pollutant Discharge Elimination System (NPDES) permit and prepare and implement a Storm Water Pollution Prevention Plan (SWPPP) for review by the City of Blythe. Implementation of the SWPPP would include the establishment of Best Management Practices (BMPs).

MONITORING: Monitoring will be provided by the City Department of Public Works and Development Services Departments, the Health Services Agency and applicable State agencies.

REPORTING: None Required

Noise

MITIGATION:

The following general policies relative to noise in the environment shall be adhered to as development of the project occurs.

- 10-1 Construction activities shall be limited to a schedule of 7:00 a.m. to 7:00 p.m. Monday through Friday and 8:00 a.m. to 5:00 p.m. on Saturday. No construction activities shall be allowed on Sunday.
- 10-2. Construction equipment shall be equipped with manufacturer recommended mufflers or equivalent.
- 10-3. Equipment engine covers shall be maintained on the apparatus as designed by the manufacturer.
- 10-4. Construction equipment shall be turned off when not in use.

- 10-5. Equipment used for project construction shall be hydraulically or electrically powered whenever possible to avoid noise associated with compressed air exhaust from pneumatically powered tools. However, where use of pneumatically powered tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used.
- 10-6. External jackets on the tools should be used where feasible. Quieter procedures shall be used such as drilling rather than impact equipment whenever possible.
- 10-7. Stationary noise sources shall be located as far from existing sensitive receptors as possible. If stationary sources must be located near existing sensitive receptors, they shall be adequately muffled and enclosed with temporary sheds or portable sound blankets used.
- 10-8. Heavy equipment activities adjacent to noise sensitive receptors shall be limited to the minimal period required to complete the task.
- 10-9. Construction traffic (i.e. equipment and employee) shall access the Proposed Project site from North Broadway via Tenth Avenue.

MONITORING: Monitoring will be provided by the City Building Department

REPORTING: None Required

Utilities and Service Systems

MITIGATION

- 13-1. A sewer study assessing the potential impacts of the proposed 69 unit development on City of Blythe Sewer Lift Station No. 11 shall be completed and submitted for review [and approval] to the City of Blythe Department of Public Works.

MONITORING: Monitoring will be provided by the Department of Public Works

REPORTING: Applicant



CITY OF BLYTHE
CITY COUNCIL MEETING

STAFF REPORT

MEETING DATE: November 16, 2016

SUBJECT: Purchase of Personal Protective Gear for Fire Department Personnel

PRESENTED BY: Christa Elms, Interim Director of Finance

PREPARED BY: Christa Elms, Interim Director of Finance

RECOMMENDATION: It is recommended that the City Council authorize the purchase of personal protective gear for Fire Department Personnel from W.S. Darley & Co. in the amount not to exceed \$30,821.60 (\$28,209.60 + estimated 10% freight charge).

FISCAL IMPACT: \$30,821.60 of appropriated funds within the Fire Department's Fiscal Year 2016-2017 budget.

BACKGROUND: The Fiscal Year 2016-2017 budget was adopted with \$45,000.00 for the purchase of personal protective gear for Fire Department Personnel. The Fire Chief has obtained three quotes per the City's purchasing guidelines to proceed with the purchase.

STAFF REPORT: The City has received three (3) quotes to proceed with the purchase of personal protective gear for the Fire Department Personnel as appropriated within the Fiscal Year 2016/2017 budget.

1.	W.S. Darley & Co.	\$28,209.60 + Freight
2.	Mallory Safety & Supply LLC	\$43,764.85 Freight Included
3.	Western States Fire Equipment	\$37,512.07 + Freight

Staff is recommending the purchase of twenty (20) fire turnouts from W.S. Darley & Co.. The quote is not only the lowest of the three (3), but also includes additional gear at the lowest cost to the City.

ATTACHMENTS:

1. Quote W.S. Darley & Co.
2. Quote Mallory Safety & Supply LLC
3. Quote Western States Fire Equipment



W.S. DARLEY & CO.
 DARLEY FIRE EQUIPMENT DIVISION
 325 SPRING LAKE DR. • ITASCA, IL 60143
 Toll Free: 800-323-0244 • Phone: 630-735-3500 • FAX: 708-345-8993
 FEIN 36-0976610 DUNS 005094842 CAGE 15852

Quotation

ORIGINAL
 11/8/2016
 13576 SQ
 40392272

Date:
 Quote #:
 Customer #:

Sold To:

BLYTHE FIRE DEPARTMENT
 201 NORTH COMMERCIAL STREET
 BLYTHE CA 92225
 United States

Ship To:

BLYTHE FIRE DEPARTMENT
 201 NORTH COMMERCIAL STREET
 BLYTHE CA 92225
 United States

Terms	Reference	Salesperson	Ship Via	Valid Thru
Net 15 Days	GLENN	GLENN COSTA		

Line #	Part No.	Description	Qty	UOM	Unit Price	Ext. Price
1.000	BK407TL	COAT, LG (44"-46"CHEST) TAN 35 SLEEVE	20	EA	\$660.00	\$13,200.00
2.000	BK408TL	PANTS, LG (40"W 29"l) TAN NOMEX IIIA	20	EA	\$365.00	\$7,300.00
3.000	BH127L	GLOVES, LG DARLEY GLD GAUNT	20	PR	\$50.00	\$1,000.00
4.000	AM00302	HELMET, CHIEFTAIN 911 (YELLOW)	20	EA	\$156.00	\$3,120.00
5.000	AK020	HOOD, NOMEX NOTCHED SHOULDER	20	EA	\$25.00	\$500.00
6.000	AS037	BAG, RED JUMBO GEAR	20	EA	\$50.00	\$1,000.00

Quote Amount: \$26,120.00
 Tax: \$26,120.00
 Quote Total: \$26,120.00

Tax 8%
 2,089.60

2,089.60

 28,209.60

Mallory Safety & Supply LLC

44380 Osgood Road, Fremont, CA 94539
 (408) 727-8530 • Fax: (408) 988-6623

QUOTATION

Order Number	
2026651	
Order Date	Page
10/28/2016 15:51:14	1 of 1
Estimated Date:	
10/28/2016 00:00:00	

Purchase Order Address:
 PO Box 2068
 Longview, WA 98632

Bill To:

CITY OF BLYTHE FIRE DEPT
 201 N COMMERCIAL ST
 BLYTHE, CA 92225

Ship To:

CITY OF BLYTHE FIRE DEPT
 201 N COMMERCIAL ST
 BLYTHE, CA 92225

Quote Expires On 2/25/2017

Requested By: Chief BILLY KEM

Customer ID: 83234 Carrier: BEST WAY

Freight: CUSTOMER DOES NOT PAY FREIGHT

PO Number		Ship Route	Taker					
TURNOUT QUOTE			MCASSIDY					
Order Line	Quantities				Item ID Item Description	Pricing UOM Unit Size	Unit Price	Extended Price
	Ordered	Shipped	Remaining	UOM Unit Size				

1	20.0000		EA	1.0	FIRCH-32X6J89U-LG COAT TURNOUT GEMINI PBI GOLD SZ LG	EA 1.0	1,010.00	20,200.00
2	20.0000		PR	1.0	FIRCH-32X6P89U-40X32 PANTS CHIEFTAN TURNOUT PBIGEM GOLD 40X32.0 W/ STEDAIR 3000 LINER, TRIPLE TRIM (ORG,SLV,ORG)	PR 1.0	795.40	15,908.00
3	20.0000		PR	1.0	FIREG-G2L-LG GLOVE DEX PRO GAUNTLET CUFF SZ LG NOMEX THERMAL LINER , THERMAL URETHANE MOISTURE BARRIER	PR 1.0	69.00	1,380.00
4	20.0000		EA	1.0	FIREG-911H712 HELMET FIRE 911 YLW STD CONFI 4IN VISOR	EA 1.0	151.75	3,035.00

Order Line Notes: HELMET PRICING GOOD FOR ORDERS OF
 20 OR MORE

Total Lines: 4

SUB-TOTAL: 40,523.00
TAX: 3,241.85
AMOUNT DUE: 43,764.85

Dispositions: C = Cancelled B = Backordered P = Production Item

U.S. Dollars



Remit To:
Freightliner of Arizona

9899 W. Roosevelt St.
Tolleson, AZ 85353
(800) 497-2211
(623) 907-9900
Fax (623) 907-6409
With Additional Locations in:
Tucson, Flagstaff, and Chandler



www.wsfireequip.com

www.fswaz.com

001

Bill-To 60914

Ship-To 60914

CITY OF BLYTHE
235 N BROADWAY

BLYTHE FIRE DEPARTMENT
440 S MAIN STREET

BLYTHE CA 92225

BLYTHE CA 92225

Estimate

E001229296

Date

11/02/2016

PO#

QUOTE

Customer Quote

Reference	Sold Via	Date Shipped	Writer	Terms
			Ernie P.	30

Qty	Item	Description	Unit Price	Unit Price	Extended
20	001A/VDR CVNG 809 925 43 GBT	VANGUARD COAT, GEMINI XT	1,762.00	1,004.76	20,095.20
20	001A/VDR TVNG 809 925 41 GBT	VANGUARD PANT, GEMINI XT	1,386.00	731.91	14,638.20
FREIGHT PAID THIS QUANTITY STANDARD SIZING PRICING					

Disclaimers of Warranties

Any warranties on the product sold hereby are those made by the manufacturer. The seller hereby expressly disclaims all warranties, either express or implied, including any implied warranty of merchantability or fitness for a particular purpose, and the seller neither assumes nor authorizes any other person to assume for it any liability in connection with the sale of said merchandise.

Return Policy

No returns without invoice. No return on electrical parts. No return on special orders. 20% restocking charge on returns. No returns after 30 days including cores.
Core credited after inspection

Customer Signature: _____

DateCreate : 11/2/2016 12:00:00AM

Freight	0.00
Subtotal	34,733.40
Taxes	0.00
Total:	34,733.40
Tax	2,778.67
	37,512.07
11/4/2016	2:39:31PM



NEW BUSINESS



CITY OF BLYTHE
CITY COUNCIL MEETING

STAFF REPORT

MEETING DATE: November 16, 2016

SUBJECT: CNG Station Discussion

PRESENTED BY: K. George Colangeli, PVVTA General Manager

PREPARED BY: K. George Colangeli, PVVTA General Manger

RECOMMENDATION: Council Authorize staff to work with PVVTA staff to draft an initial plan requested by MDAQMD for transfer and use of grant funds originally procured by Hayday Farms.

FISCAL IMPACT: Use of MDAQMD grant funds in the amount of \$361,858.06 for upgrades to the Blythe CNG Station.

BACKGROUND: Opened in 2014, the Blythe CNG Fueling Station has provided the Agency the needed CNG fuel to operate CNG buses and provide public access for CNG vehicles. Located in a very strategic location along a major Southwestern US transportation corridor the Blythe Station is very important to the Agency locally and the CNG fueling network regionally.

As the station was modestly built due to funding at the time some steps were taken to plan for future growth. Agency staff has looked at many options of upgrading the station without the operation of the station becoming a burden on the Agency's primary goal of providing bus service. Running a station 24/7 for the last 2+ years has brought forth issues that currently need to be addressed to make the station reliable and to meet the demand for CNG both public and in-house.

A few years back Hayday Farms received a grant from MDAQMD to build a large public access CNG/LNG station near Lovekin Ave. Since then Hayday has decided to go another route with their fleet and alternative energy future. At a meeting with Brad Poiriez, Executive Director of MDAQMD early in October 2016 it was discussed that Hayday may turn back the grant funds making way for use of such money to improve the Blythe CNG Station. Since this meeting MDAQMD has sent out information on where things are at with these funds in hopes of keep these funds in the Palo Verde Valley. If the funds are redirected to this improvement of the current CNG station the contract and funds will need to be funneled through the city for use by transit for this specific project.

STAFF REPORT: Mayor DeConinck has asked that we discuss this matter as a conceptual plan of action is needed by December 1, 2016 to MDAQMD. Topics for discussion will be led by the Mayor.

ATTACHMENT:

1. Email from Holly Noel, MDAQMD

Subject: AB 2766 Contracted Projects - City of Blythe and Hayday Farms

From: Holly Noel (hnoel@mdaqmd.ca.gov)
To: pcosentini@cityofblythe.ca.gov; abaldizzone@cityofblythe.ca.gov; paloverdebus@yahoo.com;
tyson@haydayfarms.com;
Cc: JDeconinck@cityofblythe.ca.gov; bradp@mdaqmd.ca.gov; jbracy@mdaqmd.ca.gov;
Date: Thursday, October 20, 2016 9:02 AM

Good Morning:

Our Executive Officer Brad Poiriez recently met with a group of you to discuss the Grants Program(s) of the MDAQMD. This email comes pursuant to that meeting.

Our office has received notice from Dale Tyson of Hayday Farms that by mutual agreement, our contract with Hayday Farms to fund the construction of a CNG fueling station will be terminating. His company requested that MDAQMD re-direct those funds to the City of Blythe to be used for expansion of the current CNG fueling station. This expansion would result in additional alternative fueling capability within the Palo Verde Valley which is something to which the MDAQMD is committed, and create a site at which Hayday Farms could fuel their trucks.

MDAQMD is happy to consider reallocating the Hayday Farms project (Contract MD0811#08hd) funds in the amount of \$310,541.06 to the City of Blythe. In order for us to consider this request however; we must receive a complete project proposal from the City of Blythe by December 1, 2016. This proposal should at the minimum contain a clear plan for expansion of the CNG fueling station at its present site outside of the Public Works Yard which would result in additional fueling capability/capacity, as well as project cost estimates and equipment list(s), along with a project Scope of Work and timeline that results in a completed project sooner, rather than later. Please indicate any in-kind contributions from the City.

Additionally, as Mr. Colangeli is aware, there was also \$51,317.00 remaining under Contract 0405#16-2 between MDAQMD and the City of Blythe which was designated for use in the construction of the current City of Blythe CNG Facility. Because that money was not used in the project, which has now been completed and is operational, it may be possible for the City of Blythe to reallocate those funds as well to the CNG expansion project outlined above. The combined total of funds for the CNG Expansion project that could be available with MDAQMD Board approval is: \$361,858.06. (Contract MD0811#08hd plus Contract 0405#16-2)

In the same meeting with Mr. Poiriez, there was a discussion of the grant funds in the amount of \$11,500, awarded to the City of Blythe for the construction of one or more EV Charging Stations (Contract 1013#10b.) Mr. DeConinck and Mr. Baldizzone reviewed the project with Mr. Poiriez and agreed to provide a revised project schedule. Please submit the revised Project Schedule to our Grants Program very soon so that this project may be completed in a timely manner. I will be happy to provide referrals for EV equipment vendors if you need them. If the City of Blythe will be contributing services or costs associated with completing the EV Charging Station(s), please include that in your proposal.

It is our policy that grant funds from projects not completed in a timely manner be returned to the grants pool for use on other emissions reduction projects, so we are very appreciative of all of your efforts to complete each of these projects quickly. I am available by email to assist in any manner or answer any questions that you have in order to support your efforts to comply with our contract requirements and execute a successful project.

Regards,

Holly Noel, MPA
Mojave Desert Air Quality Management District
14306 Park Avenue Victorville, CA 92392
(760) 245-1661 X1885 FAX: (760)245-2022



CITY OF BLYTHE
CITY COUNCIL MEETING

STAFF REPORT

MEETING DATE: November 16, 2016

SUBJECT: Hiring of two temporary employees
PRESENTED BY: Armando Baldizzone, Public Works Director
PREPARED BY: Armando Baldizzone, Public Works Director

RECOMMENDATION: Staff recommends City Council to approve the hiring of two (2) temporary employees in lieu of the installation of the new water meter system within the City, and authorize for transfers in the current budget as described in Attachment #1.

FISCAL IMPACT: The use of recognized salary saving in the Water Fund of Twenty-Six Thousand dollars, (\$26,000.00)

BACKGROUND: The Water and Sewer Fund has budgeted the position of a Water Supervisor with a Distribution IV (D4) Certificate within the Fiscal year 16/17. This position was not filled yet. The installation of water meters and Advanced Metering Infrastructure is estimated to start on November 21, 2016 according to Climatec's Schedule.

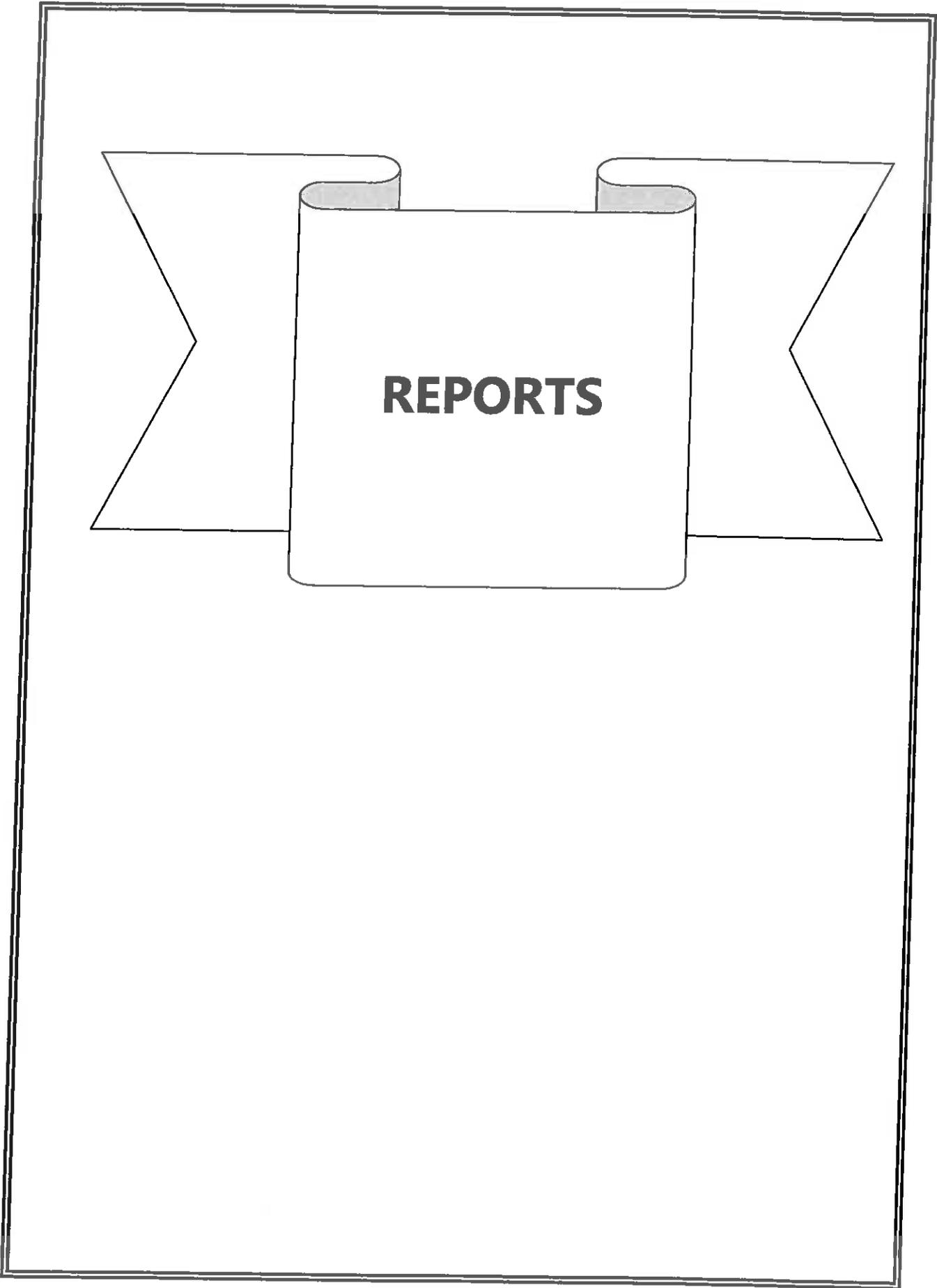
STAFF REPORT: Staff has been working with Climatec and PMI (Climatec's subcontractor) to prepare for the installation of approximately 3,600 water meters within the City. Due to the concerns brought to our attention on the installation of the water meters, the City will have to provide a minimum of 4 workers (2 from the Water/Sewer Department and 2 from the Street Department) to resolve issues as needed in the field during the installation.

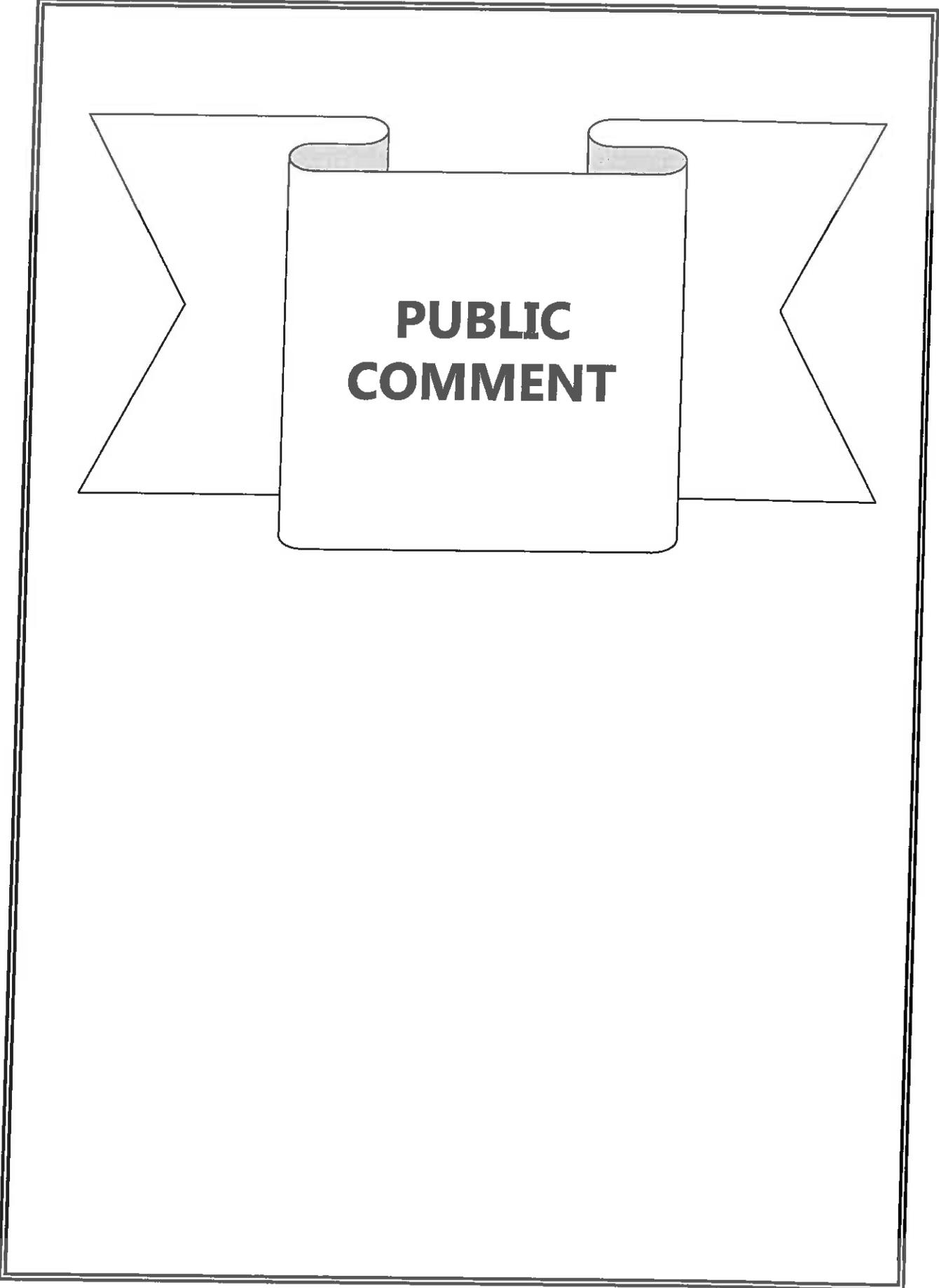
Considering that savings on the position not filled are shown in the Water and Sewer Funds, the Director of Public Works recommends the hiring of two (2) former employees of the City with knowledge in the water meter location and issues, to complete the project on time.

Implementation of this temporary hiring will allow the Water and Sewer Department to continue working on other issues of the aging infrastructure of the City of Blythe.

ATTACHMENTS:

1. Budget Adjustment Form





**PUBLIC
COMMENT**

